



DESIGNER
PLANNING

OUR KNOWLEDGE IS YOUR KEY

HOUSE RAISE & BUILD UNDER



Designer Planning

PAGE A000

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DWG

BY: JOB
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DESCRIPTION	AUTHOR
FLOOR PLANS & ELEVATIONS	CH

AT NO POINT OR ANY STAGE DO THESE PLANS WARRANT/GUARANTEE BUILDING APPROVAL NOR DO THESE PLANS PERMIT ANY BUILDER, HOMEOWNER OR CONSULTANT THE ABILITY TO PERFORM ANY BUILDING WORK WITHOUT THE REQUIRED LOCAL AUTHORITY REQUIREMENTS. THIS REQUIREMENT IS USUALLY EXPRESSED IN THE FORM OF A STAMPED BUILDING APPROVAL PLAN FROM PRIVATE CERTIFICATION.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL BUILDING DESIGN AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE DESIGNER OR ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION. ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE.

CARE HAS BEEN TAKEN TO ACHIEVE ACCURACY HOWEVER ALL INFORMATION ON THIS PLAN SHOULD BE REGARDED AS APPROXIMATE .

ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.

UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METERS AND ALL DIMENSIONS ARE IN MILLIMETERS.

DETAIL OF THE CUT & FILL REQUIREMENTS FOR THIS BUILDING SITE IS BASED ON SURFACE LEVELS TAKEN AND THE OWNER/BUILDER SPECIFIED REQUIREMENTS. SUCH DETAIL IS SUBJECT TO VARIATION DEPENDANT UPON GROUND CONDITIONS ENCOUNTERED, SOIL TEST RESULTS AND LOCAL AUTHORITY REQUIREMENTS. CONTOURS AND R.L.s, WHERE SHOWN, ARE INDICATIVE ONLY, SOME LEVELS MAY CHANGE DUE TO ACTUAL CONDITIONS ON SITE.

CLEAR BUILDING AREA OF ALL VEGETATION TO ONE METRE PAST THE BUILDING PERIMETER. REMOVE ALL STUMPS & ROOTS. STOCKPILE TOP SOIL FOR REUSE ON COMPLETION OF BUILDING CONSTRUCTION. TOP SOIL IS NOT TO BE USED AS FILL MATERIAL.

ALL CUT AND FILL EMBANKMENTS TO BE NO STEEPER THAN 1:2 AND ALL DRIVEWAYS TO BE NO STEEPER THAN 1:6 ALL EARTHWORKS TO BE IN ACCORDANCE TO A.S. 2870.

SLOPE BUILDING PAD TO DRAIN ALL SURFACE WATER AWAY FROM RESIDENCE AS PER BCA PART 3.1.2 DRAINAGE

SITE WORKS INDICATED ON THIS PLAN ARE FOR CONSTRUCTION PURPOSES ONLY. IT IS THE CLIENTS RESPONSIBILITY TO CARRY OUT ALL LANDSCAPING, SITE DRAINAGE, RETAINING WALLS AFTER COMPLETION OF CONSTRUCTION. ALL RETAINING WALLS & EMBANKMENTS SHOWN ARE TO COMPLY WITH THE LOCAL AUTHORITIES POLICY FOR RETAINING WALLS & EMBANKMENTS ON RESIDENTIAL BUILDING SITES. POSITION OF RETAINING WALLS & EMBANKMENTS MAY VARY ACCORDING TO SITE WORKS.

LEVEL OF CONCRETE FLOOR SLAB TO DWELLING IS TO BE VERIFIED BY BUILDER TO ENSURE THAT A MINIMUM HEIGHT ABOVE FINISHED GROUND LEVEL IS ATTAINED IN ACCORDANCE TO THE B.C.A. QLD BUILDING ACT-AMENDMENT ACT 1991 & THE LOCAL AUTHORITY POLICY AND TO CONFIRM CUT AND FILL LEVELS. THE SAME PRINCIPAL IS TO BE APPLIED WHEN CONSIDERING THE CAVITY BETWEEN THE LOWER FLOOR CEILING AND THE UPPER FLOOR TO ENSURE ADEQUATE SPACING FOR SERVICES.

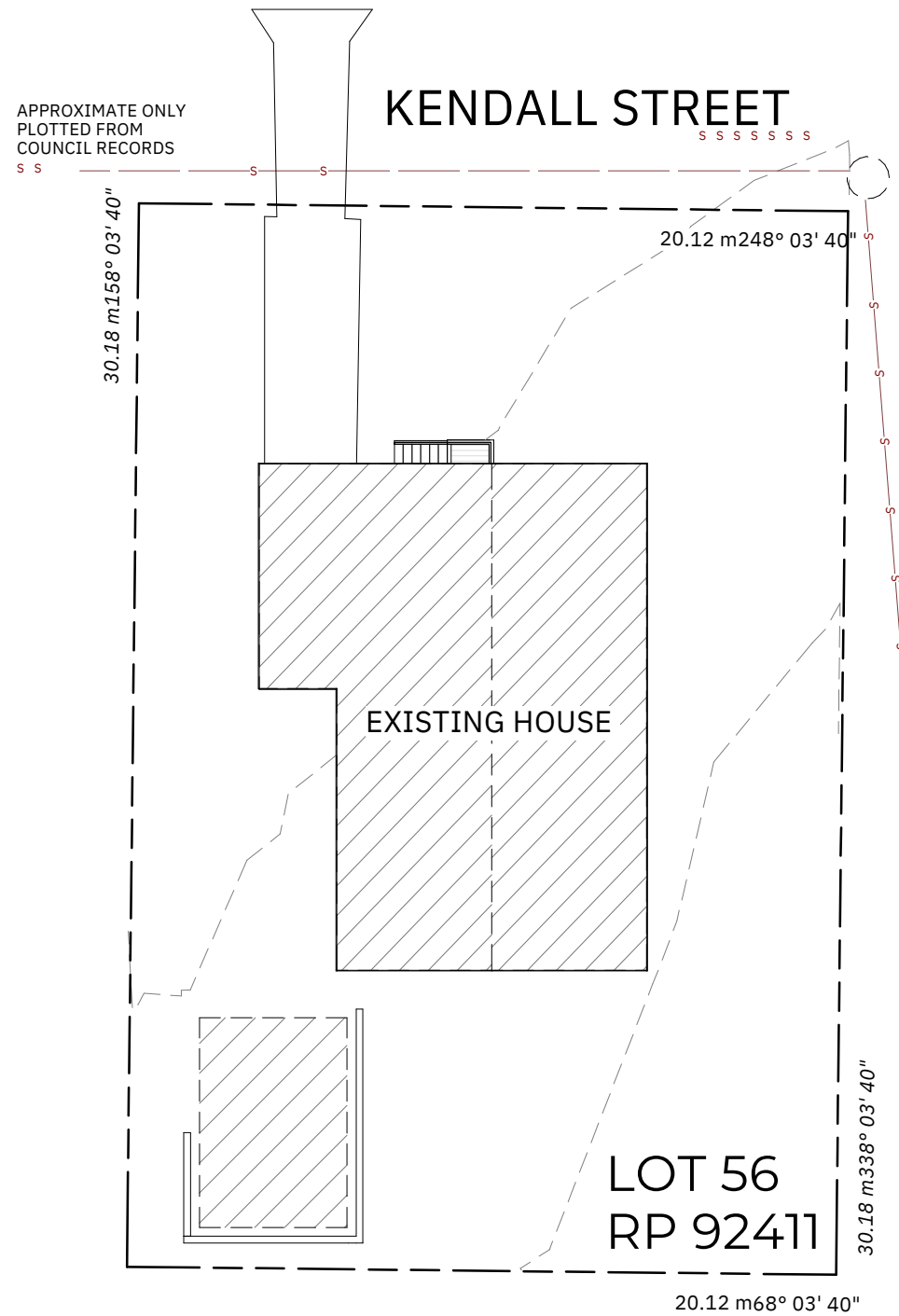
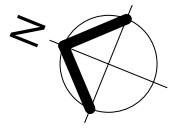
BUILDER TO VERIFY THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.

CONFIRM THAT ALL SURVEY PEGS ARE IN THE CORRECT POSITION BEFORE SETTING OUT THE BUILDING. IF ANY DOUBT ARISES CONTACT THE BUILDER/SURVEYOR. THE RELATIONSHIP BETWEEN OCCUPATION AND THE PLOTTED BOUNDARY IS INDICATIVE i.e. THIS IS NOT A BOUNDARY SURVEY.

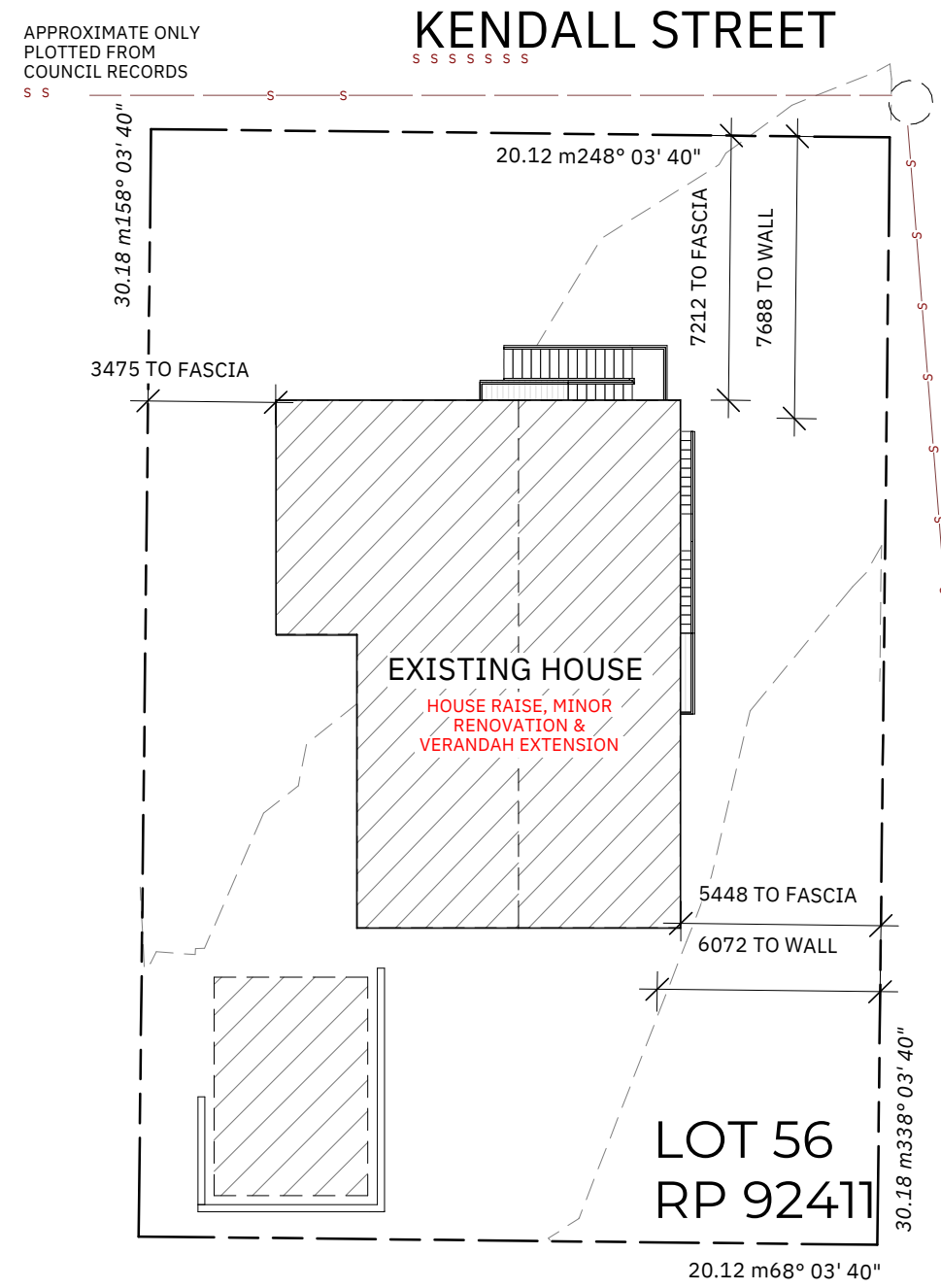
AFTER COMPLETION OF CONSTRUCTION OF THE DWELLING, THE OWNER SHALL MAINTAIN THE SITE & DWELLING IN ACCORDANCE WITH THE C.S.I.R.O. LEAFLET SHEET No. 10-91 'GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'.

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NOTES: GENERAL
 1. BUILDING SETBACKS SHOWN ARE TO BE CONFIRMED ON SITE BY SURVEYOR PRIOR TO BUILDING APPROVAL/CONSTRUCTION
 2. CONTOURS AND LEVELS SHOWN ARE APPROXIMATE ONLY, PLOTTED FROM COUNCIL RECORDS AND MAY VARY ON SITE



1 EXISTING SITE PLAN
 1 : 200



2 PROPOSED SITE PLAN
 1 : 200



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ISSUE	DESCRIPTION	DATE	AUTHOR
1D	FLOOR PLANS & ELEVATIONS	27-01-2023	CH

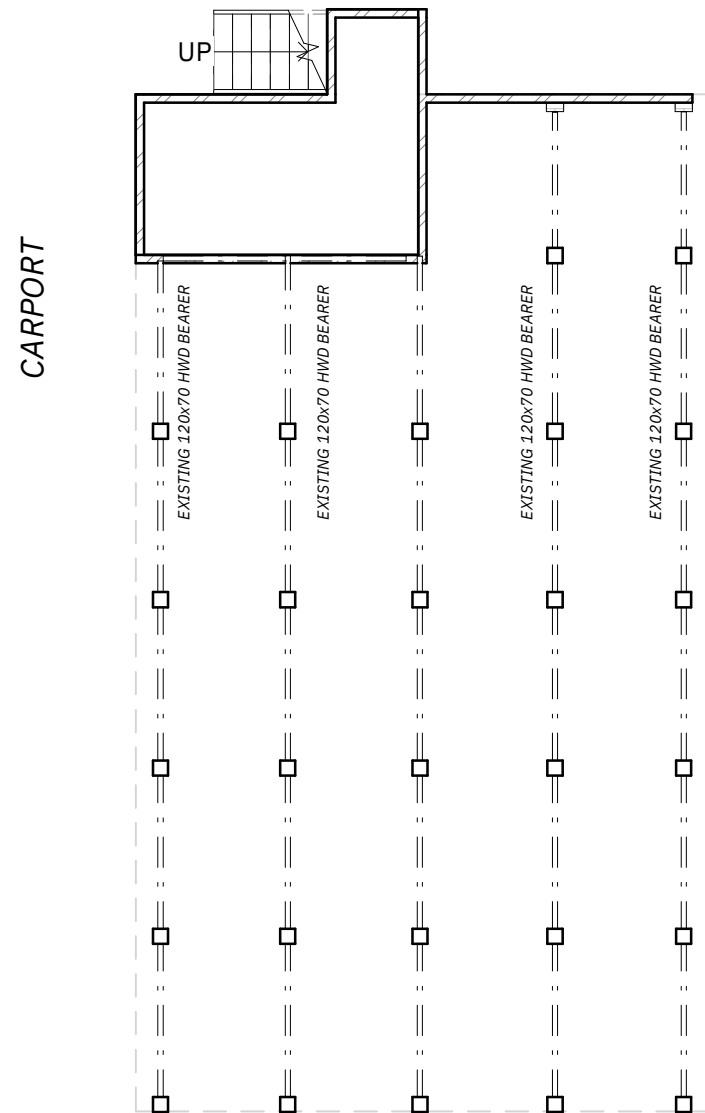
PROJECT: HOUSE RAISE & BUILD UNDER
 CLIENT:
 SITE ADDRESS:

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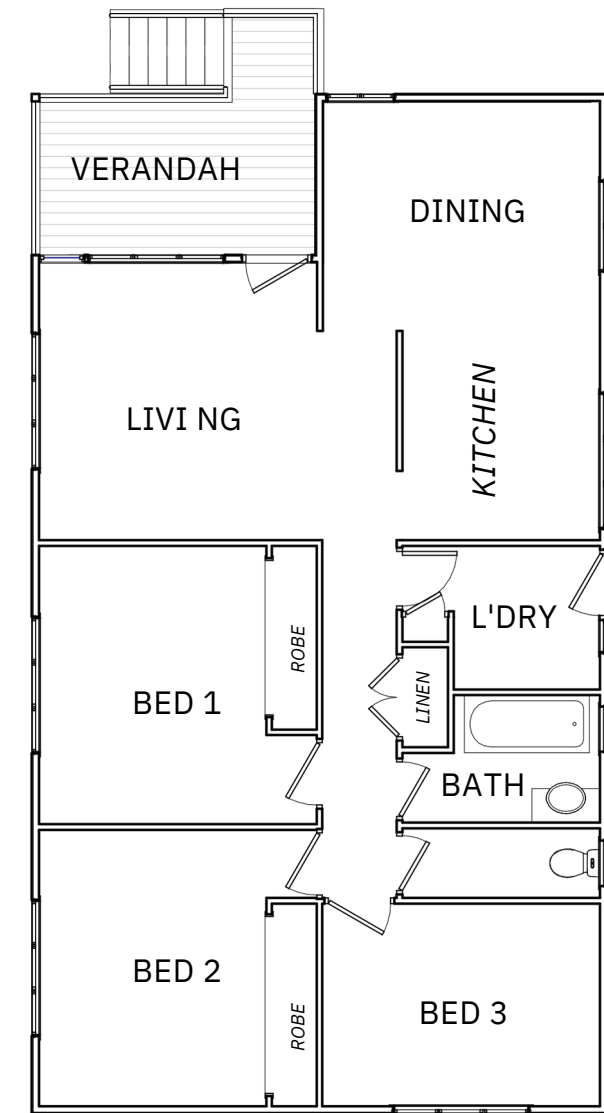
All design, construction methods and materials to be in accordance with:
 -The Building Code of Australia (BCA);
 -The Queensland Development Code (QDC);
 -Building Regulations;
 -Current issues of Australian Standards & Manufacturer's specifications and installation details for materials used.

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128
129
130

- COMPLIANCE NOTES:
1. Stairs are to comply with BCA V2 Part 3.9.1
 2. Handrails/Balustrades to comply with BCA V2 Part 3.9.2
 3. WC Doors to comply with BCA V2 QLD 3.8.3
 4. All wet areas to comply with BCA V2 Part 3.8.1
 5. Lighting to comply with BCA V2 Part 3.8.4
 6. Ventilation to comply with BCA V2 Part 3.8.5
 7. Termite protection to comply with BCA V2 Part 3.1.3
 8. Masonry Construction to comply with BCA V2 Part 3.3
 9. All workmanship and materials to comply with all relevant Australian Standards and the Building Code of Australia
 10. All glazing in buildings to comply with the requirements of Part 3.6 BCA Housing Provision and AS 1288/1994. A glazing certificate from the manufacturer for compliance with AS 1288 must be provided on completion
 11. Toilet swing doors are to open outwards or be fitted with lift off hinges in accordance with Part 3.8.3.3 of BCA Housing Provision



3 EXISTING SUB-FLOOR PLAN
1 : 100



4 EXISTING FLOOR PLAN
1 : 100

NEW STEEL BEAM
NEW STEEL-PFC BEAM

SHS POST

BEARER AS PER FRAMING PLAN

STUD WALL

BLOCKWORK WALL

NOTE: ALL WINDOW AND SLIDING DOOR SIZES ARE HEIGHT x WIDTH

SW SLIDING WINDOW

FD FRENCH DOOR

LVR LOUVRE WINDOW

FX FIXED WINDOW

SD SLIDING DOOR

AW AWNING WINDOW

DH DOUBLE HUNG

GB GLASS BRICKS

C CASEMENT

OB OBTUSCURE GLASS

SD SMOKE DETECTOR



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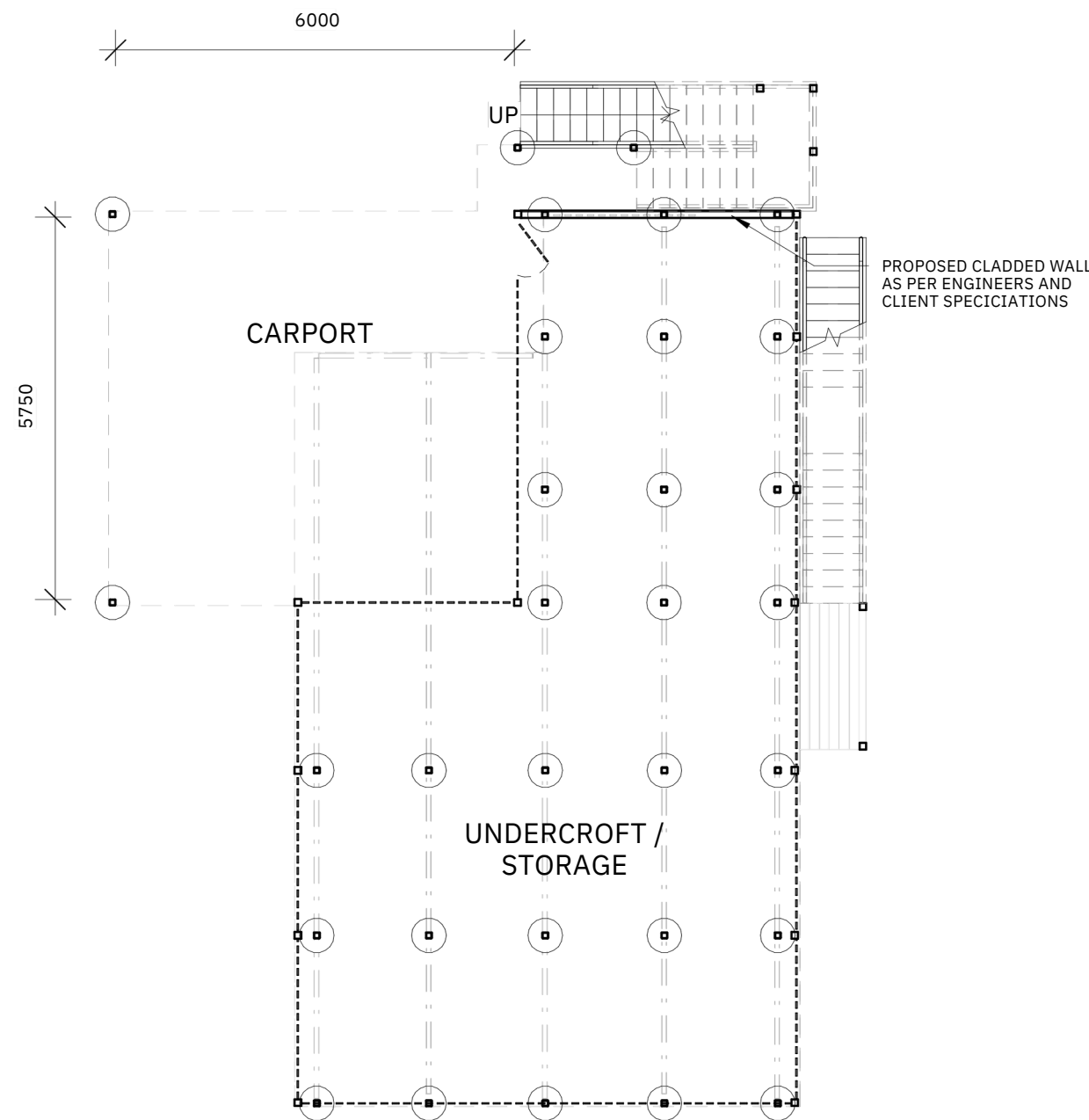
ISSUE	DESCRIPTION
1D	FLOOR PLANS & ELEVATIONS

PROJECT: HOUSE RAISE & BUILD UNDER

CLIENT:
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COMPLIANCE NOTES:

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BUILDERS TO NOTE:

All levels and dimensions are to be checked and verified on site prior to the commencement of any building work or production of shop drawing. All design and construction methods and materials to be in accordance with:

The National Construction Code (NCC), the Queensland Development Code (QDC), the building act 1975, current issues of Australian standards & manufacturer's specifications and installation details for materials and product used.

Do not scale drawings. Figured dimensions take precedence over scale.

IF IN DOUBT, ASK!!!

CLIENTS TO NOTE-

Building approvals are not always straightforward and there is a lot of documentation that is required (even for what could be perceived as a basic renovation).

Designer Planning makes a concerted effort to ensure that what we design can and does become approved. This can be time-consuming and somewhat frustrating for you and us alike (dealing with various council / government regulations / codes, as well as meeting our clients' scope can be difficult), but eventually, we achieve in the end, as we feel this is part of our service. Given our commitment to this part of the project, Designer Planning asks you to understand that any inquiries post-approval will be subject to a fee for service, regardless of nature of inquiry.

Perhaps a suggestion to avoid additional charges is to save inquiries for the engineering inspections stage. Designer Planning provide inspection Form 16 Certificates for a fee of \$220 (incl. GST) and is required as part of your construction process.

NEW STEEL BEAM
NEW STEEL PFC BEAM

SHS POST

BEARER AS PER FRAMING PLAN

STUD WALL
BLOCKWORK WALL

NOTE: ALL WINDOW AND SLIDING DOOR SIZES ARE HEIGHT x WIDTH

SWSLIDING WINDOW
FD FRENCH DOOR
LVRLOUVRE WINDOW
FXFIXED WINDOW
SDSLIDING DOOR
AWAWNING WINDOW
DHDOUBLE HUNG
GBGLASS BRICKS
C CASEMENT
OBSOBSCURE GLASS
SDSMOKE DETECTOR

5 PROPOSED LOWER FLOOR PLAN

1 : 100



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ISSUE	DESCRIPTION
1D	FLOOR PLANS & ELEVATIONS

PROJECT: **HOUSE RAISE & BUILD UNDER**

CLIENT:

SITE ADDRESS:

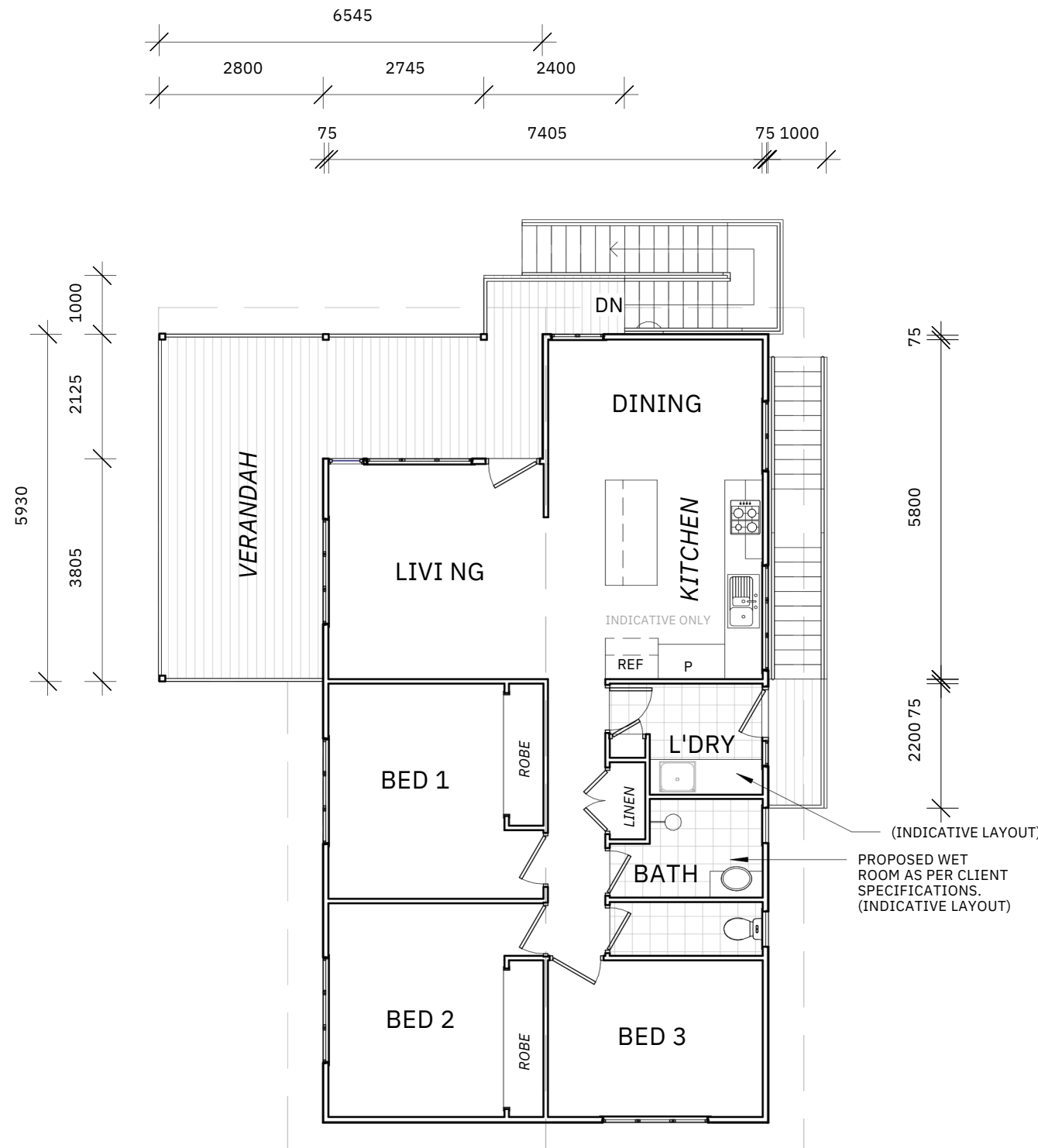
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- The Building Code of Australia (BCA);
- The Queensland Development Code (QDC);
- Building Regulations;
- Current issues of Australian Standards & Manufacturer's specifications and installation details for materials used.



6 PROPOSED UPPER FLOOR PLAN

1 : 100

COMPLIANCE NOTES:

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3. WC Doors to comply with BCA V2 QLD 3.8.3
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6. Ventilation to comply with BCA V2 Part 3.8.5
7. Termite protection to comply with BCA V2 Part 3.1.3
8. Masonry Construction to comply with BCA V2 Part 3.3
9. All workmanship and materials to comply with all relevant Australian Standards and the Building Code of Australia
10. All glazing in buildings to comply with the requirements of Part 3.6 BCA Housing Provision and AS 1288/1994. A glazing certificate from the manufacturer for compliance with AS 1288 must be provided on completion
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NEW STEEL BEAM
NEW STEEL PFC BEAM

SHS POST
BEARER AS PER FRAMING PLAN

STUD WALL
BLOCKWORK WALL

NOTE: ALL WINDOW AND SLIDING DOOR
SIZES ARE HEIGHT x WIDTH
SW SLIDING WINDOW
FD FRENCH DOOR
LVR LOUVRE WINDOW
FX FIXED WINDOW
SD SLIDING DOOR
AW AWNING WINDOW
DH DOUBLE HUNG
GB GLASS BRICKS
C CASEMENT
OBS OBSOBCURE GLASS
SD SMOKE DETECTOR



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1D	FLOOR PLANS & ELEVATIONS

PROJECT: HOUSE RAISE & BUILD UNDER

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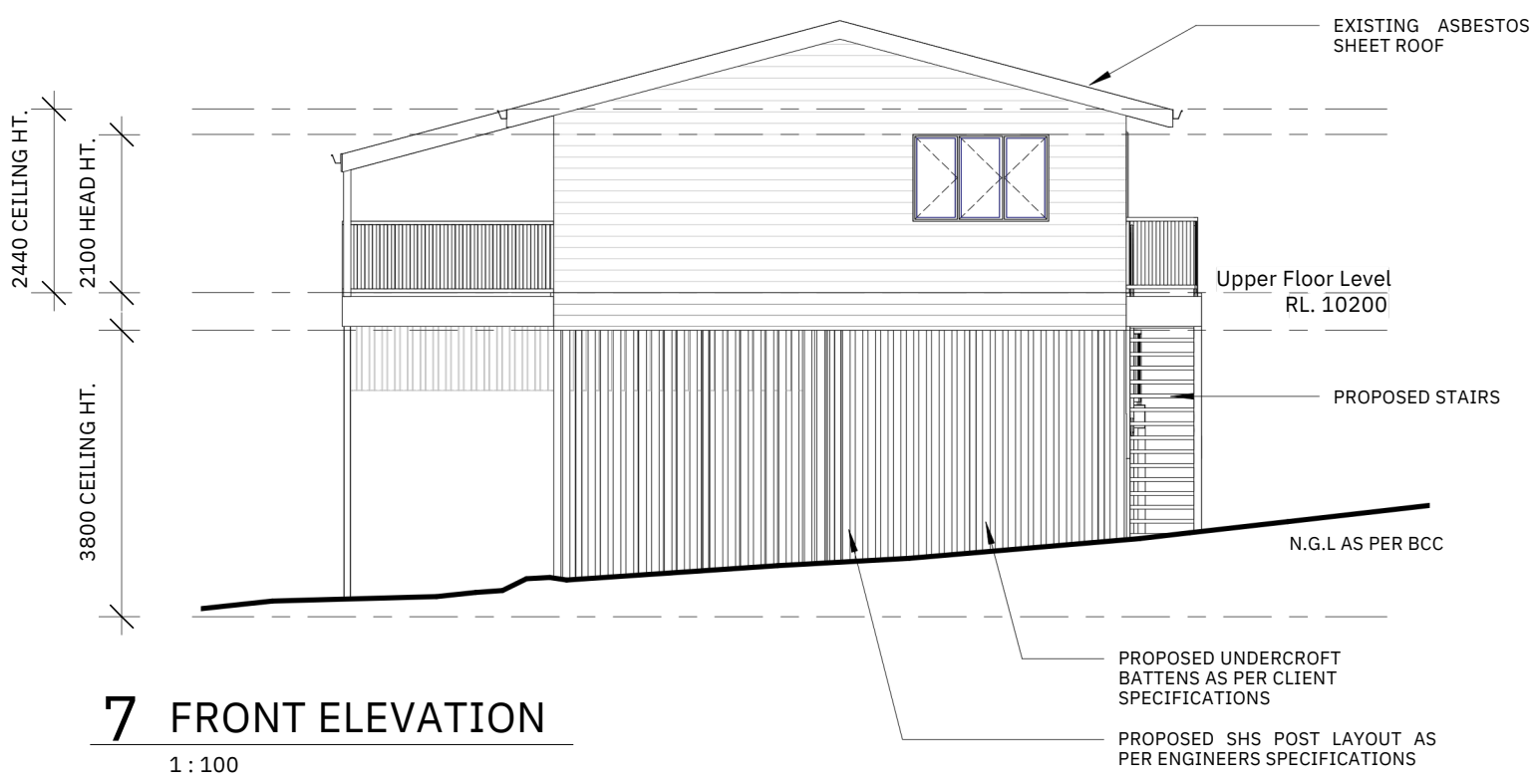
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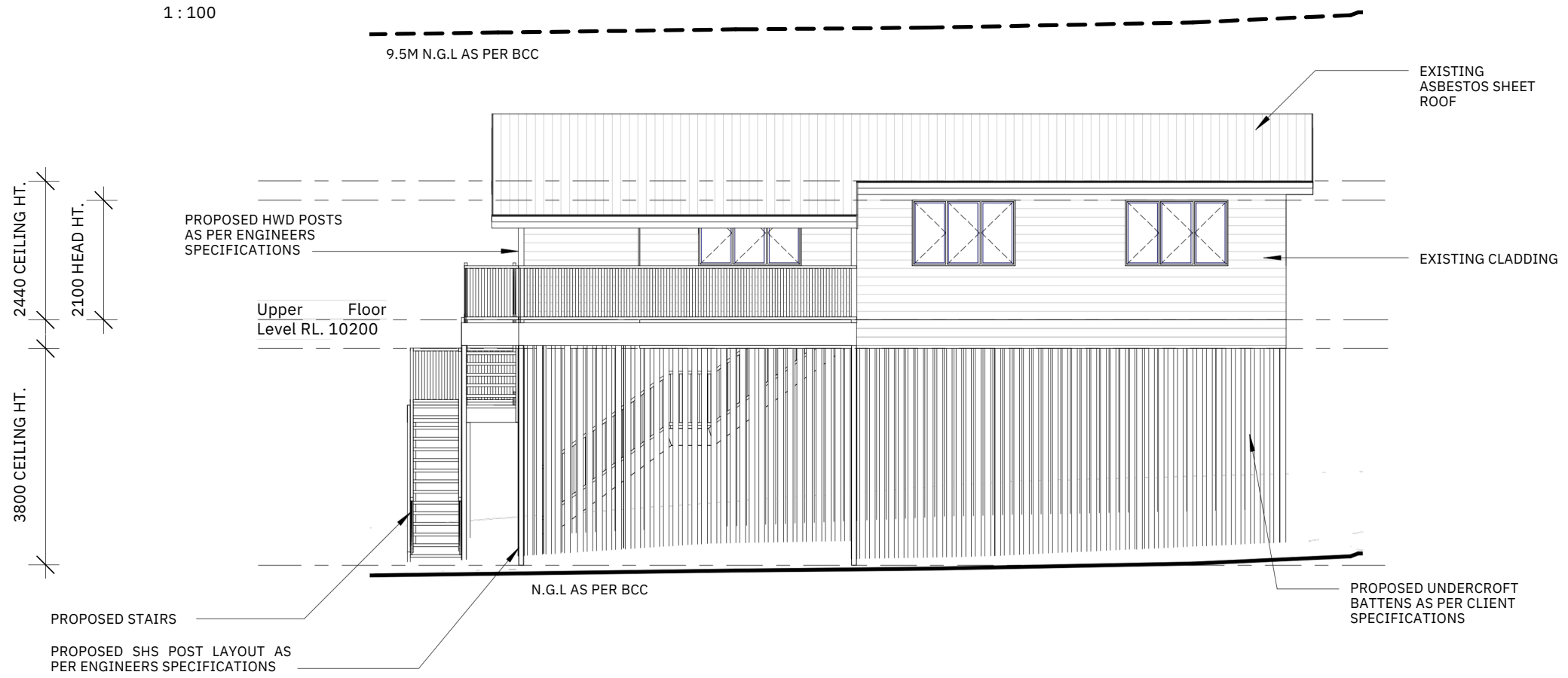
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7 FRONT ELEVATION
1 : 100

8 LEFT-SIDE ELEVATION
1 : 100



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ISSUE	DESCRIPTION
1D	FLOOR PLANS & ELEVATIONS

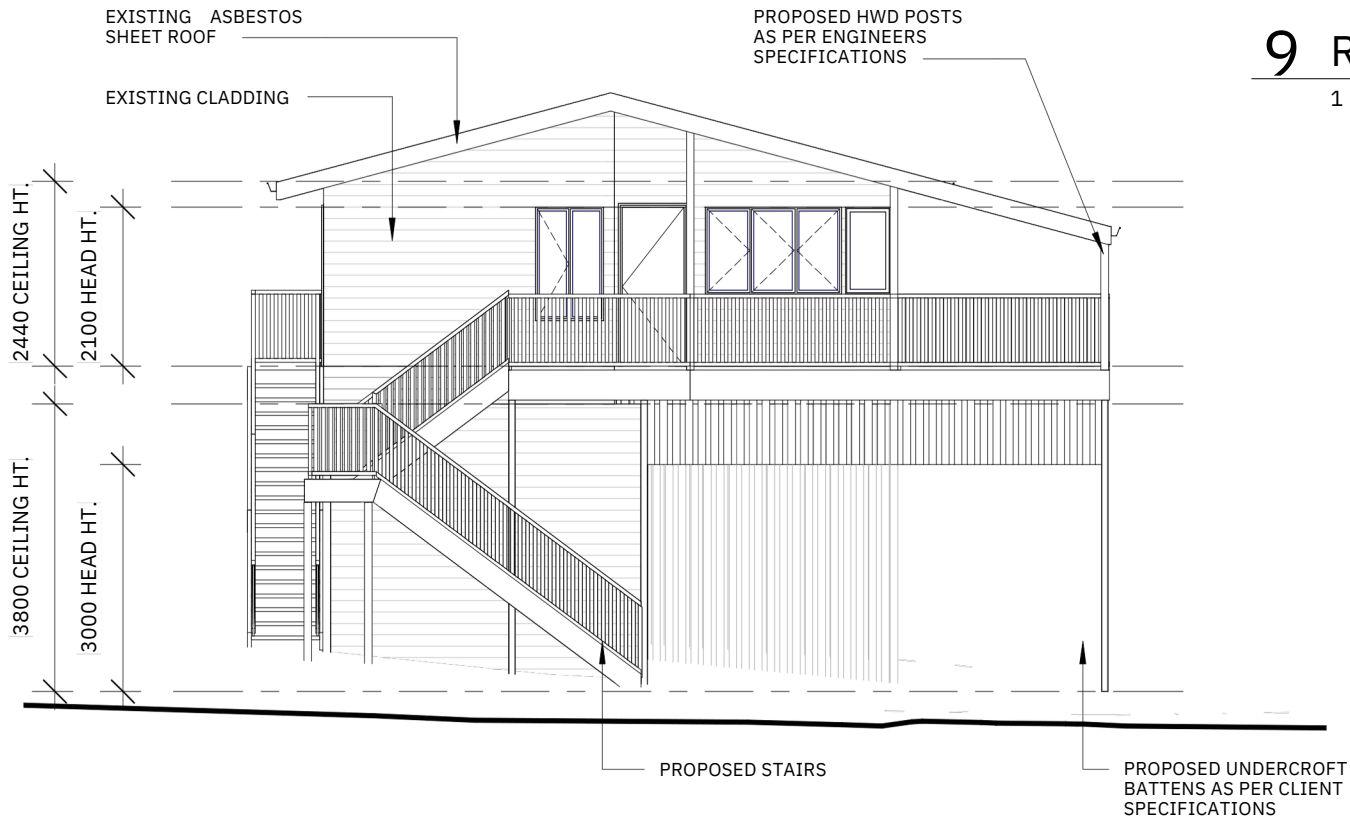
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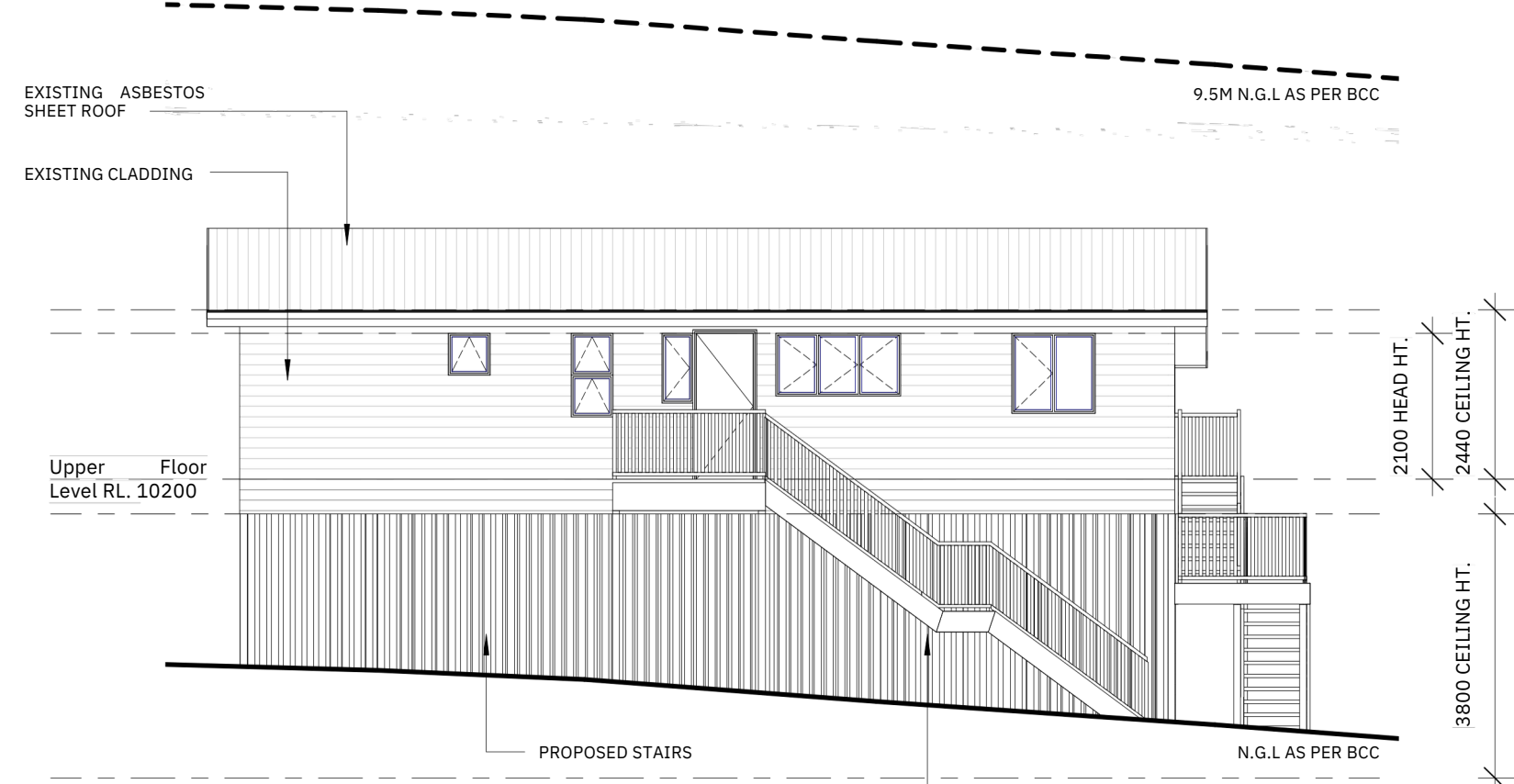
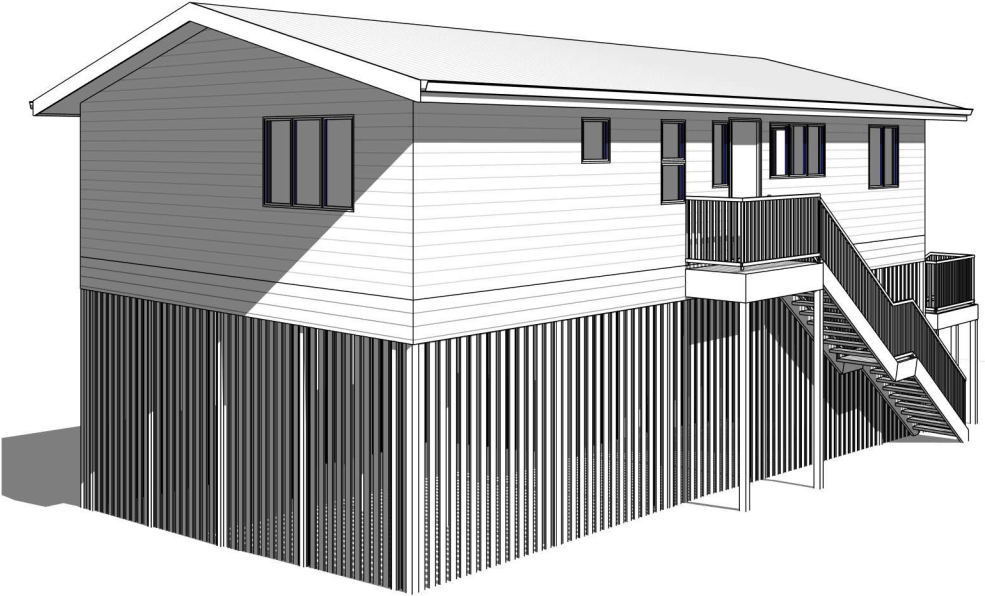
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9 REAR ELEVATION

1 : 100



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10 RIGHT-SIDE ELEVATION

1 : 100



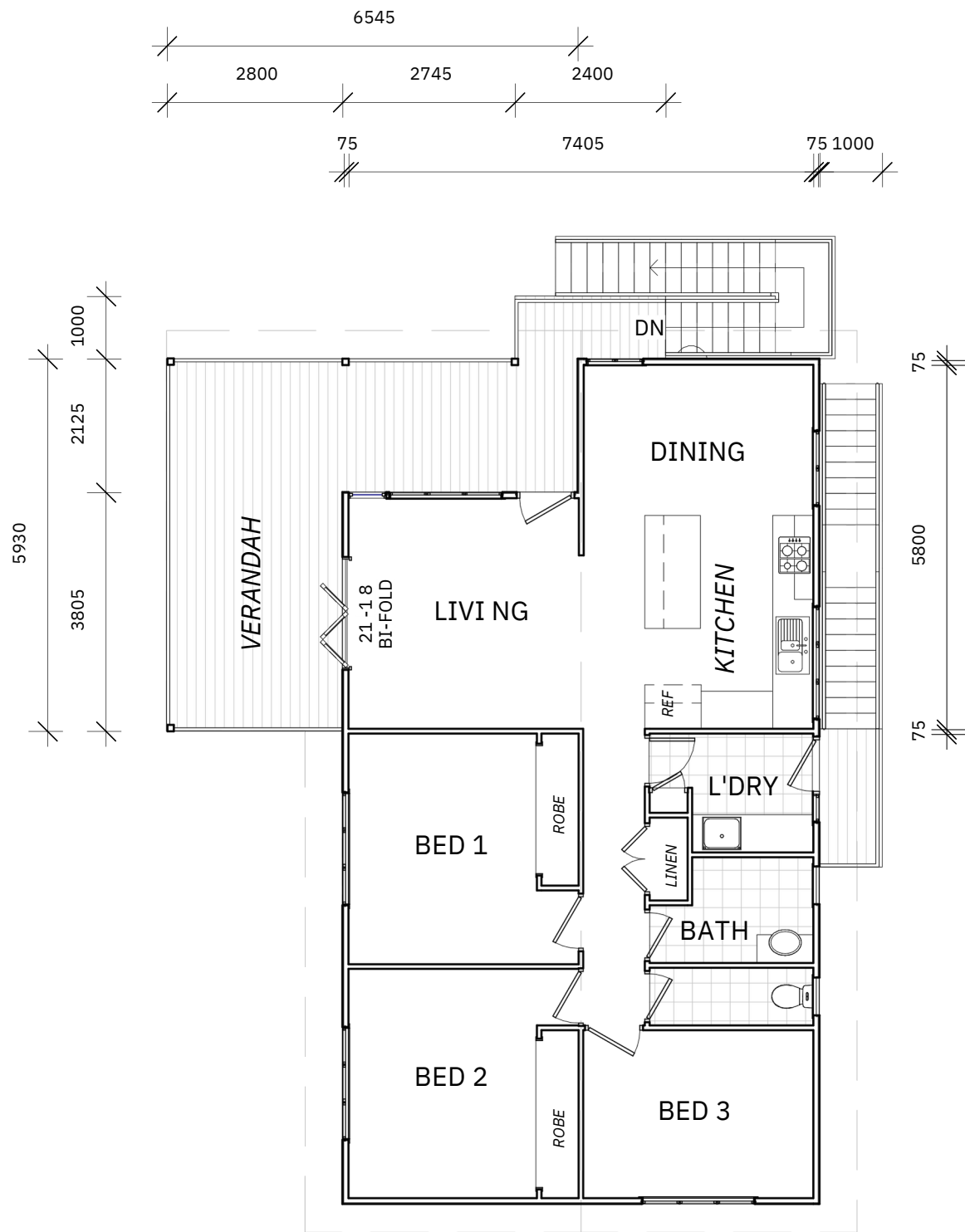
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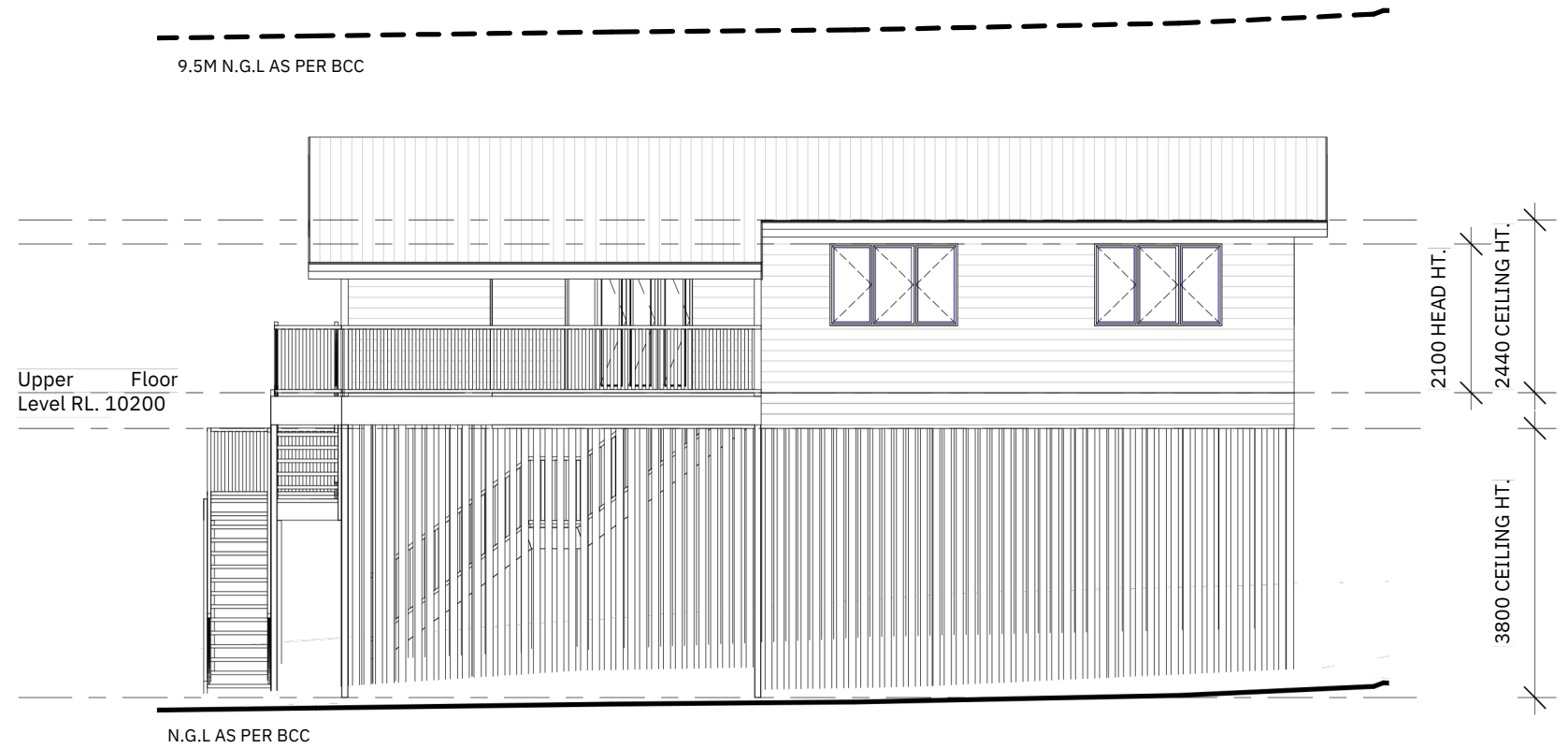
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11 PHASE 2 -UPPER FLOOR PLAN

1 : 100



12 PHASE 2 -RIGHT-SIDE ELEVATION

1 : 100



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